

AMENDED AGENDA

REGULAR MEETING

Town of Owego Planning Board

Tuesday, December 27, 2022 – 7:00 PM

Owego Town Hall, 2354 State Route 434, Apalachin, New York

I. Call Meeting to Order

II. Approval of Minutes

Meeting held November 22, 2022

III. Appeals

Recommendation (revised site plan) Appeal No 2122 – Harry Singh -- Request for a Special Use Permit to add gas pumps at Harry's (former Lawler's) 1423 State Route 96

Recommendation Appeal No 2124 – Riverside Cemetery Marshland Road Request for a Special Use Permit to add fill

Recommendation Appeal No 2106 – Farmer Brown Solar LLC Request for a Floodplain Development Permit to resurface driveway at entrance to solar farm on State Route 434

Recommendation Appeal No 2126 – Dunkin' Donuts Apalachin Request for a Floodplain Development Permit to construct a new store at 7868 State Route 434 Apalachin

V. Schedule next meeting

January 24, 2022

VI. Adjournment

The Regular Meeting of the Town of Owego Planning Board was held at 7:00 PM on Tuesday November 22, 2022 at the Owego Town Hall, 2354 State Route 434, Apalachin, New York.

Present: Chairman Rieg, Craig Wademan, Lynne Esquivel, Jim Tofte, Lisa Baileys and David Marsh. Excused: Leah Hammond.

Chairman Rieg called the meeting to order at 7:02 PM. The minutes from the October 25, 2022 meeting were considered. Craig Wademan made a motion to accept the minutes as written. Lynne Esquivel seconded the motion. Chairman Rieg, Mr. Wademan, Mr. Marsh, Mr. Tofte, Ms. Baileys and Ms. Esquivel all voted in favor.

The Board considered Special Use Permit #2122, submitted by Harry Singh for the addition of gas pumps at Harry's Expressway at 1423 State Route 96, Owego. Sukhwinder Singh, Gagondeep Singh and Brian Doak were in attendance.

Chairman Rieg asked for a brief overview of the request. Brian Doak of Doak Engineering introduced the project stating that Mr. Singh wishes to add 8 pumps to his parcel, which now includes a liquor store and a convenience store. Mr. Doak referenced an Area Varaince, which was approved by the Zoning Board of Appeals on November 3, 2022, allowing for an additional gas station within a radius of 1,500 feet. Mr. Doak mentioned that the Tioga County Planning Board reviewed this request at their meeting on November 16 and recommended that the applicant contact Tioga State Bank to draw up an agreement that the bank, and Harry's, can continue the "gentleman's agreement" regarding the shared driveway between properties. Mr. Doak emphasized that this agreement has no bearing on this Special Use Permit request.

Mr. Rieg then asked about the relationship between Mr. Singh and the Kaur Sisters LLC, the entity shown as the owner of record. Mr. Sukhwinder Singh replied that he is the sole owner of Kaur Sisters LLC. Mr. Rieg asked the applicant to submit a formal letter to the town so its records would be accurate.

Mr. Tofte had three suggestions on the site plan: 1) access aisles next to each accessible parking space need to be eight feet wide and must include a sign for each space; 2) directional arrows painted on the parking lot could be removed because people do not pay attention to traffic flow when getting gas; and 3) the plan should show how fuel delivery trucks will turn around making deliveries.

Mr. Rieg expressed a general concern about traffic flow, asking how often fuel would be delivered. Mr. Gagondeep Singh stated that there is a meter on each pump, and the gas station requests deliveries when the fuel is low, which typically come at 8:00 or 9:00am. Mr. Tofte pointed out that the fuel truck would be displacing parking along the liquor store when deliveries are made, and the owner may even need to place cones in the pumping aisles if a delivery truck needed to idle in a fueling lane when delivering fuel.

The site plan showed eight cars at the fuel pumps. Mr. Wademan expressed concern that cars would have difficulty leaving the pumps nearest the liquor store parking area. Mr. Rieg agreed, stating that he was also concerned with the three parking spots near the driveway adjacent to

Route 96—pedestrian safety in particular (Sheet 2, SE Corner) as pedestrians must cross all lanes of vehicular traffic to get to the store.

Mr. Tofte asked the applicant if his business model was dependent upon having four pumps. Mr. Sukwinder Singh stated yes.

Discussion ensued regarding traffic. Mr. Doak stated that he worked for the NYS DOT for 30 years, the plan went before their Planning Committee and this plan is in compliance with their design standards and did not flag any kind of traffic issues or a history of accidents near the site. He also mentioned that the gravel road around the rear of the convenience store will be shut off. After discussion about the driveway, Mr. Doak reminded the board that the DOT does not approve site plans with two entrances.

Mr. Rieg inquired about reorienting the pumps so cars would face the convenience store. Mr. Doak said that could not be done because the road between Mr. Singh's parcel and Tioga State Bank is not a legal ingress.

Mr. Tofte asked about the possibility of moving the underground tanks (same as below) to the rear of the convenience store. Mr. Wademan concurred that would be a good idea. Mr. Tofte asked about separation requirements between a well and fuel tanks. Mr. Doak stated he did not find anything in his review of the regulations, and emphasized that the gas tanks have containment systems.

Mr. Rieg then asked about traffic flow during a 12-week construction period, stating this period would present a new set of problems including navigating around a very large hole in the ground. As a means of illustrating the size of the hole for the fuel tanks, Mr. Wademan pointed out that two 5,000 gallon tanker trucks would equal the size of one 10,000 gallon underground fuel storage tank. Mr. Tofte and Mr. Wademan suggested placing the underground tanks behind the convenience store to avoid business stoppage during construction and to open up the traffic flow during day to day operations.

Mr. Tofte asked about grading as none was shown on the site plan, as it would be useful to understand sheet flow for a spill plan. Mr. Doak stated that the site is dead flat.

Mr. Wademan asked about the frequency of current deliveries. Applicant responded two times each week.

Mr. Rieg asked about the Quonset hut. Applicants stated that they planned to take it down, but did not have a specific time frame Mr. Wademan suggested that when the Quonset hut is removed (possibly phased) the applicant shift parking in the direction of the Quonset hut to create more space in between the the gas pumps.

Mr. Marsh asked about lighting. Mr. Doak stated that the county suggested they use a green/brown LED lighting, and emphasized that lights would be pointed downward.

Mr. Tofte and Mr. Rieg stated that they could not approve the plans as submitted and recommended a resubmission at the Planning Board's December 27, 2022 meeting that addresses

“pinch points” around the pumps where multiple traffic flow directions are depicted, and the following:

Required: Increase size of ADA access aisles to 8 feet and add signs at the ADA parking spaces and associated access aisles.

Strongly consider the following changes to improve traffic flow a) show “future parking” spaces in the gravel area behind the Quonset hut; b) delineate phases, including one that shows removal of the Quonset hut, parking where the Quonset huts was, and perhaps moving/spacing the pumps further apart and towards where the Quonset hut currently sits, and c) move underground storage tanks to the rear of convenience store/on the gravel lot.

Mr. Tofte made a motion to table the review until the December 27, 2022 Planning Board Meeting. Mr. Rieg seconded the motion and it was unanimously carried.

There being no further business, the meeting was adjourned.

Respectfully submitted,

Joann Lindstrom
Planning & Zoning Administrator
Town of Owego



December 12, 2022

185 MAIN STREET
OWEGO, NY

Cell: 607/759-5792
Email: bdoak2@mac.com

Joann Lindstrum, MPA
Planning & Zoning Administrator
Town Of Owego
2354 State Route 434
Apalachin, NY 13732

Ms. Lindstrum,

Re: Special Use Permit #2122
Harry's Expressway
1423 State Route 96
Owego, NY 13827

This letter is in response to the comments provided by the Town Planning Board on November 22, 2022. The comments identified as "required" and "Strongly Consider" have been transcribed for reference followed by our response.

Required:

1. Increase ADA access aisles: *Changed from 60" to 96"*.
2. Add ADA signing: *Added*.

Strongly Recommended:

1. Show future parking area behind the Quonset hut: *This is already shown on the Parking Study Sheet (S-3)*.
2. Delineate phases including one that shows removal of the Quonset hut and parking where the Quonset hut was: *A note has been added indicating the owner's future intention of demolishing the Quonset Hut. The seven additional parking places created, and the required access lane are shown on the Parking Study Sheet (S-3)*.
 - a. And perhaps moving/spacing the pumps further and towards where the Quonset Hut currently sits: *After consulting with the contractor and the engineer, the owner clearly desires the pumps to be located where they are currently shown*.

Please note that the pump layout and access is relatively standard. Also, the access lane between the pumps and the liquor store parking is 35.5'.

3. Move underground storage tanks to the rear of convenience store/on the gravel lot. *After consulting with the contractor and the engineer, the owner clearly desires the underground storage tanks remain as shown on the plans.*

Other comments noted in the meeting minutes:

1. Remove directional arrows: *Removed*
2. Indicate fuel delivery truck turn around: *WB-50 turning area indicated on Parking Study Sheet (S-3).*
3. Three Parking post indicated in the southwest corner of the main parking lot: *These are shown on the Parking study Sheet (S-3). As indicated on the sheet, these spots are shown as only potential parking spaces.*

If you have any questions, I can be reached at the phone, email or mailing address noted above.

Sincerely,

Brian R. Doak

Brian R. Doak, PE
Doak Engineering Design, PC

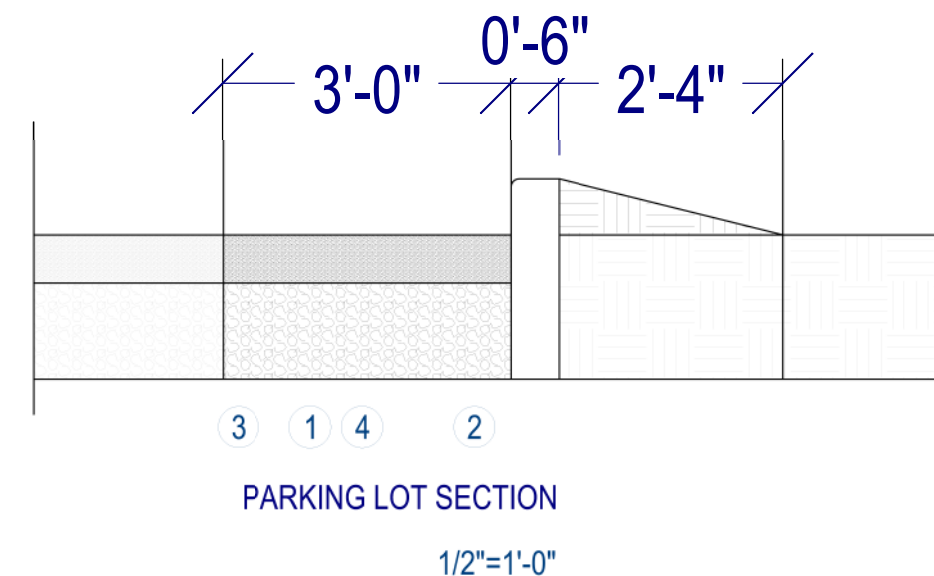
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GENERAL PROJECT INFORMATION	
PROJECT NAME	HARRY'S STORE
PROJECT NUMBER	22-194
PROJECT ADDRESS	1423 NY 96, OWEGO, NY 13827
COUNTY	TIOGA
STATE	NEW YORK
CLIENT	SUKHWINDER (HARRY) SINGH
CONTACT	SUKHWINDER (HARRY) SINGH
CONTACT ADDRESS	1423 NY 96, OWEGO, NY 13827
CONTACT NUMBER	(607) 221-1385
TAX PARCEL NUMBERS	117.11-1-13 117.11-1-12
ZONING DISTRICT	?
PLANNING JURISDICTION	239 REVIEW NOT REQUIRED
CODE IN EFFECT BY BUILDING DEPARTMENT	
BUILDING CODES OF NEW YORK STATE-2016	
2020 INTERNATIONAL BUILDING CODE	
2020 INTERNATIONAL RESIDENTIAL CODE	
2020 INTERNATIONAL EXISTING BUILDING CODE	
2020 INTERNATIONAL FIRE CODE	
2020 INTERNATIONAL PLUMBING CODE	
2020 INTERNATIONAL MECHANICAL CODE	
2020 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE	
A117-09 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	

CONSTRUCTION NOTES	
1	NEW GAS STATION
2	THIS LINE IS THE CANOPY PERIMETER. THE ACTUAL DIMENSIONS OF THE GAS PUMP DISTRIBUTION MAY VARY AND WILL BE CONSTRUCTED BY OTHERS. THE CLEARANCES SHOWN IN THIS PLAN WILL BE RETAINED. VARIATIONS SHALL BE REPORTED TO THE ENGINEER IF ADJUSTMENTS ARE NECESSARY.
3	TWO 12,000 UNDER GROUND STORAGE TANKS AND CONCRETE SLAB. FINAL ACTUAL LOCATION MAY VARY.
4	NEW CURB & PAVEMENT. PAVEMENT SHALL BE 12"X65'+/- AND CURB SHALL BE 80'+/-.
5	EXISTING DRIVEWAY MEETS NYSDOT STANDARDS. PAVEMENT MARKINGS SHALL BE PROVIDED AS SHOWN DELINEATING INGRESS & EGRESS.
6	TO COMPLY WITH NYSDOT DRIVEWAY STANDARDS, THE DRIVEWAY ENTRANCE LOCATED AT THE NORTH END OF THE PROPERTY (NOT SHOWN) SHALL BE ELIMINATED FROM USE BY PLACING JERSEY BARRIERS ACROSS THE OPENING ON THE PROPERTY AND PARALLEL WITH THE GUIDE RAIL. OTHER METHODS OF ELIMINATING ITS USE AS APPROVED BY NYSDOT MAY BE CONSIDERED.
7	THE OWNER'S INTENTION IS TO DEMOLITION QUONSET HUT AT A FUTURE DATE. THE POTENTIAL PARKING SITES INDICATED ARE SHOWN AS REQUESTED BY THE TOWN PLANNING BOARD AND ARE IN ADDITION THOSE ALREADY IDENTIFIED.

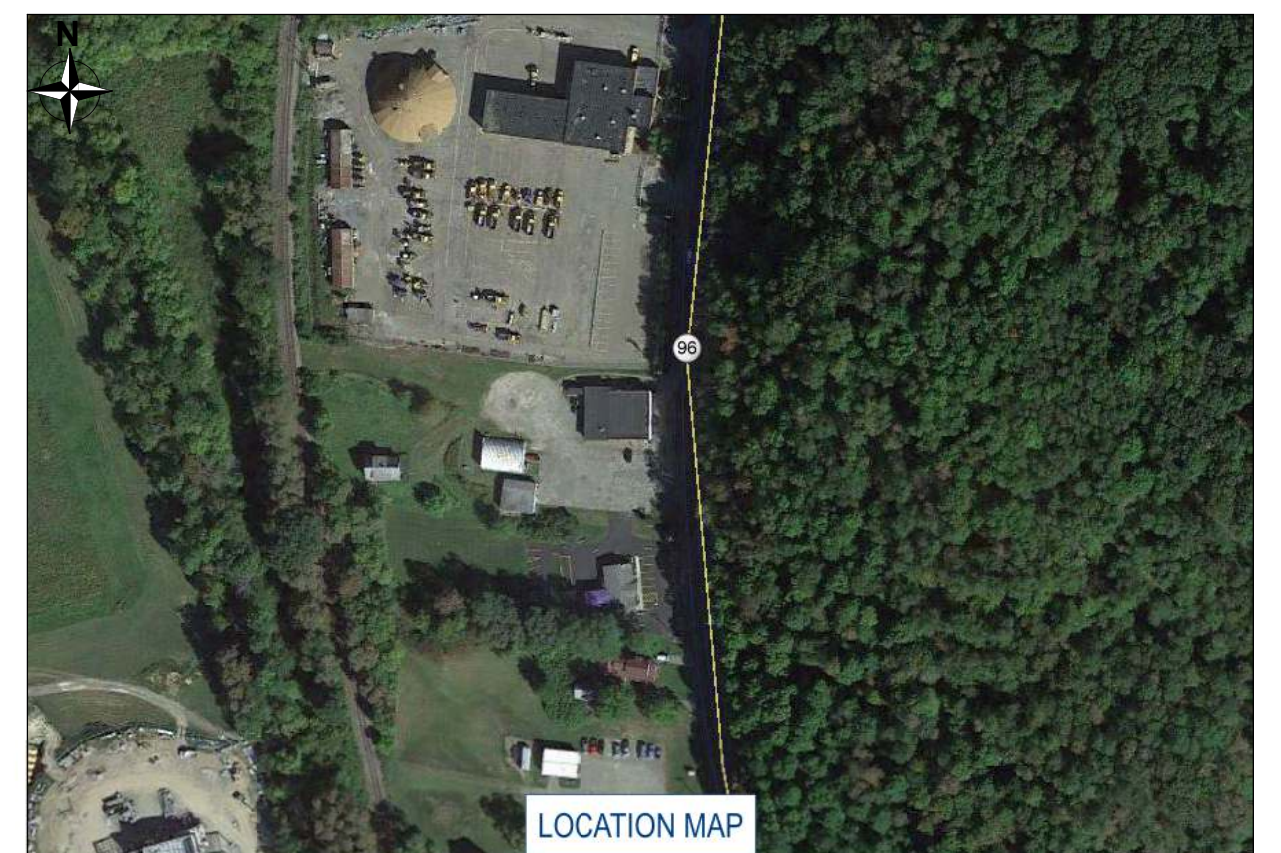
SECTION NOTES	
①	12" CLEAR AND GRUB EXCAVATE TO SUB-GRADE MATCH EXISTING PAVEMENT SECTION ASPHALT, COMPACTED GRAVEL
②	1:4 (MIN) SLOPE BACKFILL CURB. COMPACT. TOPSOIL & SEED
③	CREATE A CLEAN EDGE FOR NEW SECTION. LIQUID ASPHALT SEAL NEW JOINT
④	PROVIDE NEW CURB. MATCH EXISTING.



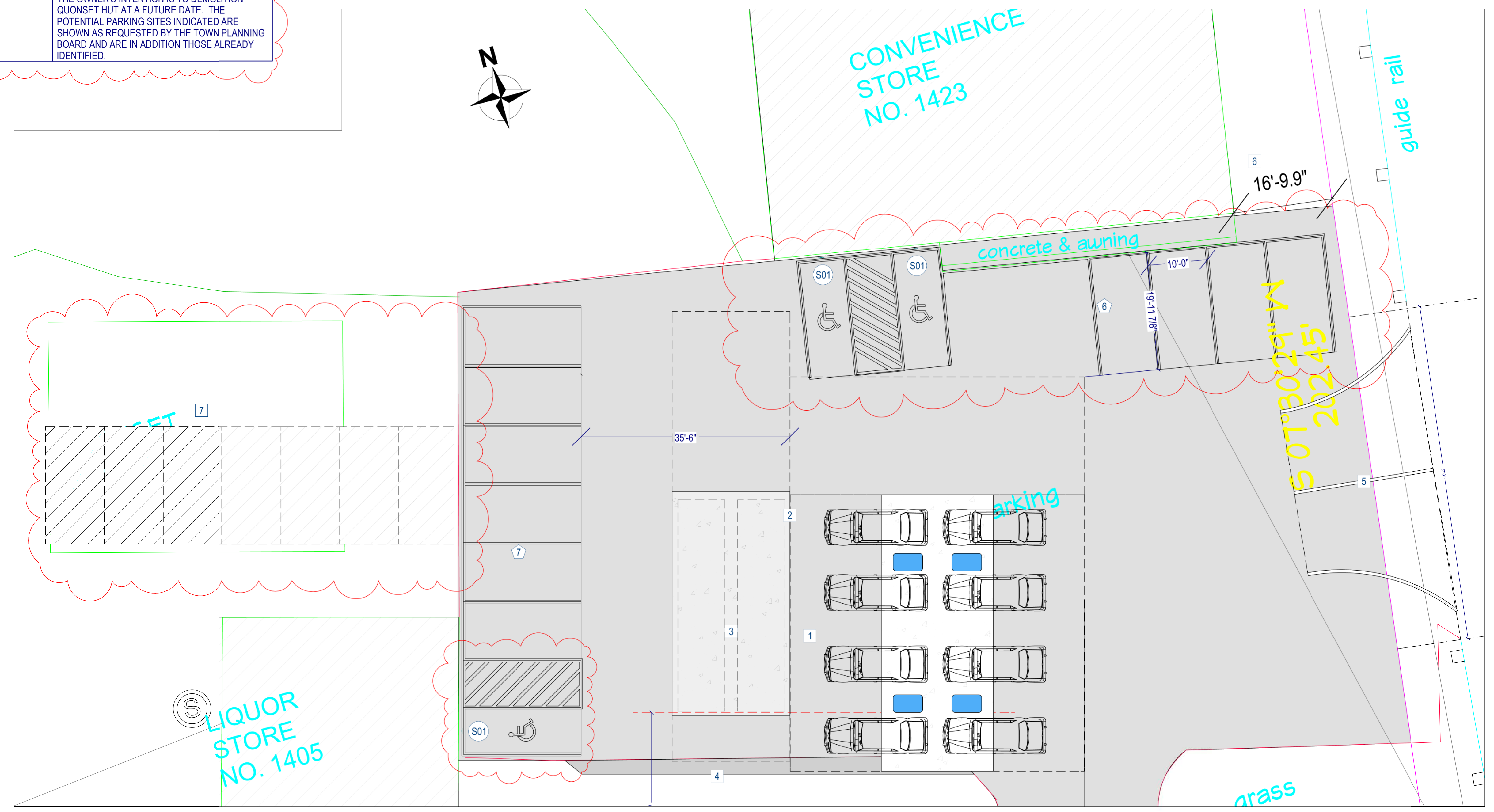
SIGN SCHEDULE			
NUMBER	QTY	LABEL	COMMENTS
S01	3	ACCESSIBLE PARKING SPACE SIGN	SIGN SHALL BE PLACED AND CONFIGURED IN COMPLIANCE WITH ICC A117.1-2009

SIGN NOTE:
EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. THE BOTTOMS OF THE SIGNS LOCATED ON POST INSTALLED SHALL BE 60" MINIMUM ABOVE THE PAVEMENT SURFACE.

TABLE OF SHEETS		
SHEET	DRAWING	TITLE
1	S-1	GAS STATION SITE PLAN
2	S-2	CODE ANALYSIS
3	S-3	PARKING STUDY
4	S-4	NYSDOT DRIVEWAY LAYOUT
5	S-5	CANOPY PRELIMINARY DESIGN
6	S-6	CONCRETE PAD PRELIMINARY DESIGN
7	S-7	SITE SURVEY



PROJECT DESCRIPTION:
THE PURPOSE OF THIS SITE PLAN IS FOR THE INSTALLATION OF GASOLINE FILLING FACILITY ON THE EXISTING PROPERTY. THE PLANS FOR THE CONSTRUCTION AND INSTALLATION ARE TO BE PROVIDED BY OTHERS.



INSTALLATION LOCATION
1"=10'



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION
1	12/12/22	BRD	ADA SIGNS
2	12/12/22	BRD	ADA AISLES
3	12/12/22	BRD	QUONSET HUT

HARRY'S EXPRESS
GAS STATION SITE PLAN
1423 NYS 96
TOWN OF OWEGO, NY 13827

GAS STATION SITE PLAN



DATE:	12/12/2022
SCALE:	1"=10'
DRAWING:	S-1
SHEET:	1

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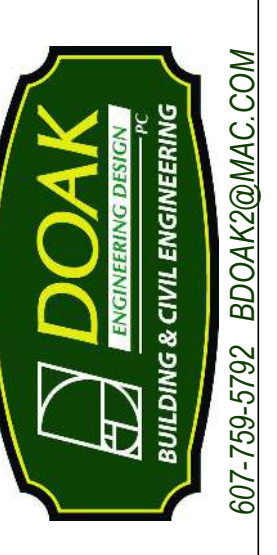
TOWN OF OWEGO ZONING CODE ANALYSIS					
HARRY'S EXPRESS CONVENIENCE STORE & GAS STATION					
CH.	SEC.	SUBJECT	REQ/ALL	ACT/PROP	COMMENTS
125		ZONING			
		GENERAL BUSINESS			
	125-18	PERMITTED USES			
	125-18.A	GENERAL BUSINESS DISTRICT			
	125-18.A.2	RETAIL STORE OR SERVICE			
	125-18.B	SPECIAL PERMIT BY BOARD OF APPEALS			
	125-18.B.1	GASOLINE STATIONS	125-50		
	125-40	OFF-STREET PARKING			
	125-40.A	PARKING SPACE	10'X20'	10'X20'	
		ACCESS DRIVE	20'	20'	
	125-40.A.6	COMMERCIAL BUSINESS	54	123	
BCNY	T/1106.1	ACCESSIBLE PARKING SPACES	3 ADA		51-75 PS=3 ADA
	125-50	GAS STATION			
	125-50.A				
	125-50.A.1	HOSPITALS, SCHOOLS	D>300'	~1100'	
	125-50.A.2	WATER WELLS	D>2500'		
	125-50.A.3	TWO GAS STATIONS	D>1500'	~800'	
	125-50.B	LOT SIZE	20,000 SF	87,555 SF	
	125-50.C	FRONTAGE	150'	202'	
	125-50.D	LOT DEPTH	125'	410'	
	125-50.E	PUMP SETBACK	35'	35'	MEASURE FROM PROPERTY LINE
	125-50.F	FUEL STORAGE	35'	35'	
	125-50.G	AUTO PARTS	N/A		
	125-50.H	ACCESS DRIVEWAY	<2	1	
	125-50.1	CURBED LANDSCAPE @ FRONT	5'	NONE	PAVED
	125-53	SITE PLANS			
	125-53.B	SUBMISSION (FROM CHECKLIST)			COMMENTS
	125-53.B.1	PROPERTY & TOPOGRAPHIC SURVEY			WILLIAMS & EDSAL
	125-53.B.2	SITE PLAN			DOAK ENGINEERING DESIGN, PC
	125-53.B.3	TRAFFIC PLAN			SEE SITE PLAN
	125-53.B.4	SITE GRADING AND LANDSCAPE DESIGN			LIMITED TO RESEEDING DISTURBED AREAS
	125-53.B.5	PRELIMINARY ARCHITECTURAL DRAWINGS			INCLUDED
	125-53.B.6	PRELIMINARY ENGINEERING PLANS			STREET OR PUBLIC UTILITY WORK IS NOT PART OF THIS PROJECT.
	125-53.B.7	ENGINEERING FEASIBILITY STUDIES			NONE
	125-53.B.8	CONSTRUCTION SEQUENCE & SCHEDULE			JUNE 1, 2023 - AUGUST 1, 2023
	125-53.B.9	HOURS OF OPERATION			8:00 AM-9:00 PM
	125-53.B.10	DEED RESTRICTIONS			NONE
	125-53.B.11	SEQR PART 1			SUBMITTED
	125-53.B.12	OTHER PERMITS			SPECIAL USE PERMIT
	125-53.B.13	SWPPP			NOT REQUIRED. THIS PROJECT DISTURBS LESS THAN ONE ACRE.
	125-53.B.14	AGRICULTURAL DATA FORM, PART 1			NOT REQUIRED. THIS PROJECT IS NOT LOCATED IN AN AGRICULTURAL DISTRICT.
	125-53.B.15	WELLHEAD PROTECTION ZONE			NO INFORMATION IS AVAILABLE ON TIOGA COUNTY GIS.
	125-53.B.16	FLOOD PLAIN DEVELOPMENT PERMIT			NOT REQUIRED. THIS PROJECT IS NOT WITHIN A FLOODPLAIN.
	125-87	USES REQUIRING SITE PLAN APPROVAL			
	125-87.G	RETAIL, SERVICE			



REVISION TABLE		
NUMBER	DATE	DESCRIPTION

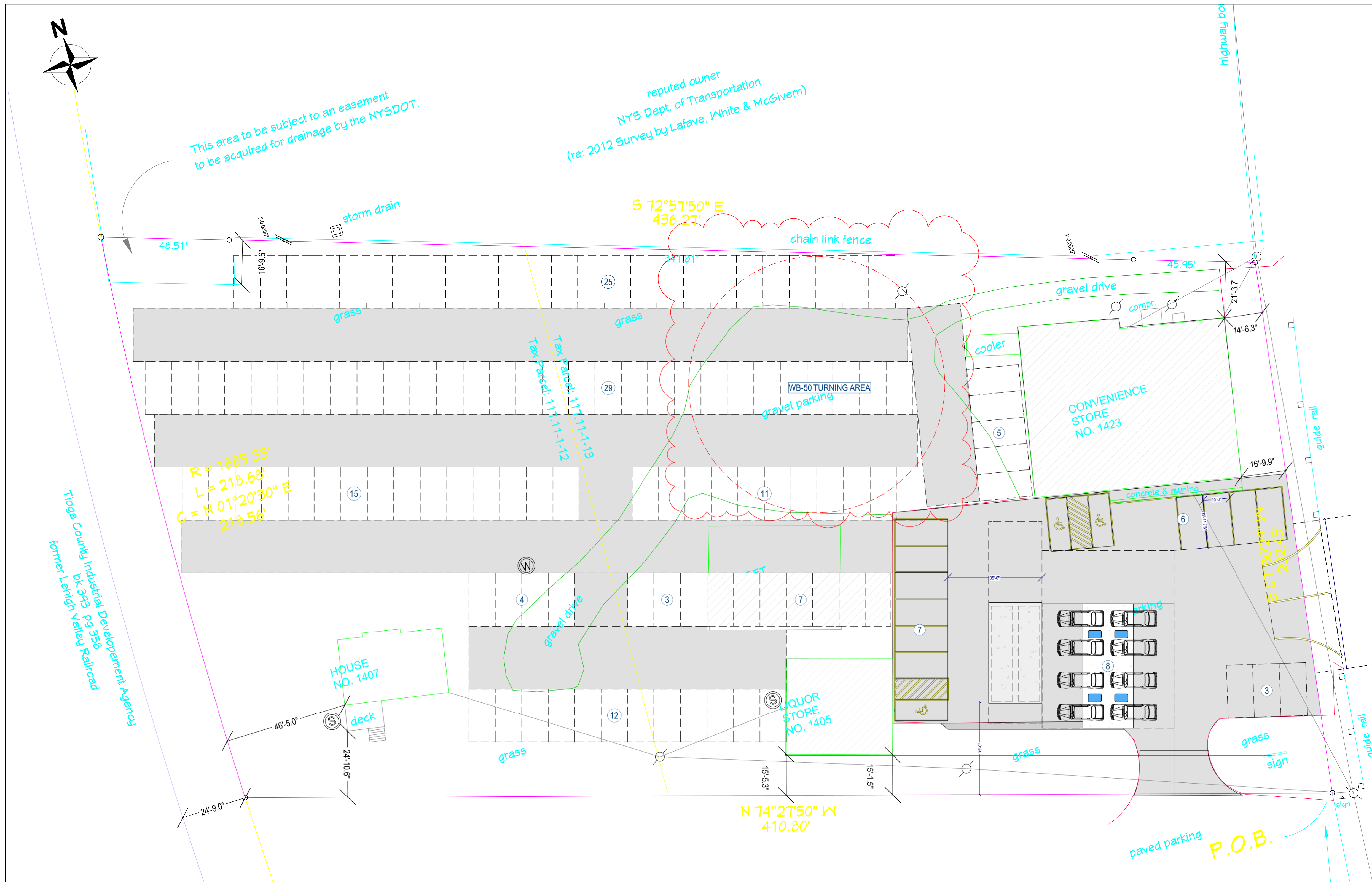
HARRY'S EXPRESS
GAS STATION SITE PLAN
 1423 NYS 96
 TOWN OF OWEGO, NY 13827

CODE ANALYSIS



DATE:
 12/12/2022
 SCALE:
 no scale
 DRAWING:
 S-2
 SHEET:
 2

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HARRYS STORE	4920 SF
LIQUOR STORE	1489 SF
TOTAL AREA	6409 SF

6409 SF/120 SF= 54 PARKING SPACES REQUIRED
 3 ADA PARKING SPACES REQUIRED (INCLUSIVE)
 (EACH FILLING LOCATION COUNTED AS PARKING SPACE)

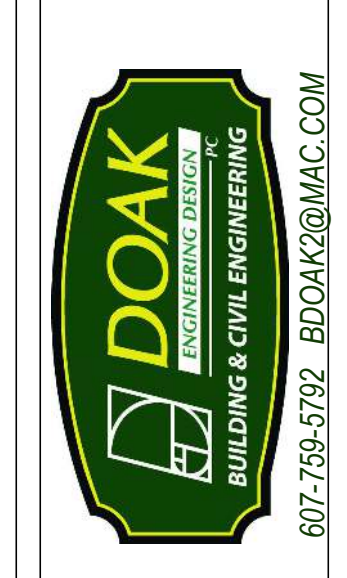
PARKING SPACES AVAILABLE:			
	ACTUAL	POTENTIAL	TOTAL
MAIN LOT:	21	3	24
BACK LOT:	0	111	111
TOTAL:	21	114	135



REVISION NUMBER	DATE	DESCRIPTION
1	12/12/22	WB-50 TURNING
2	12/12/22	BRD REV. P. COUNT

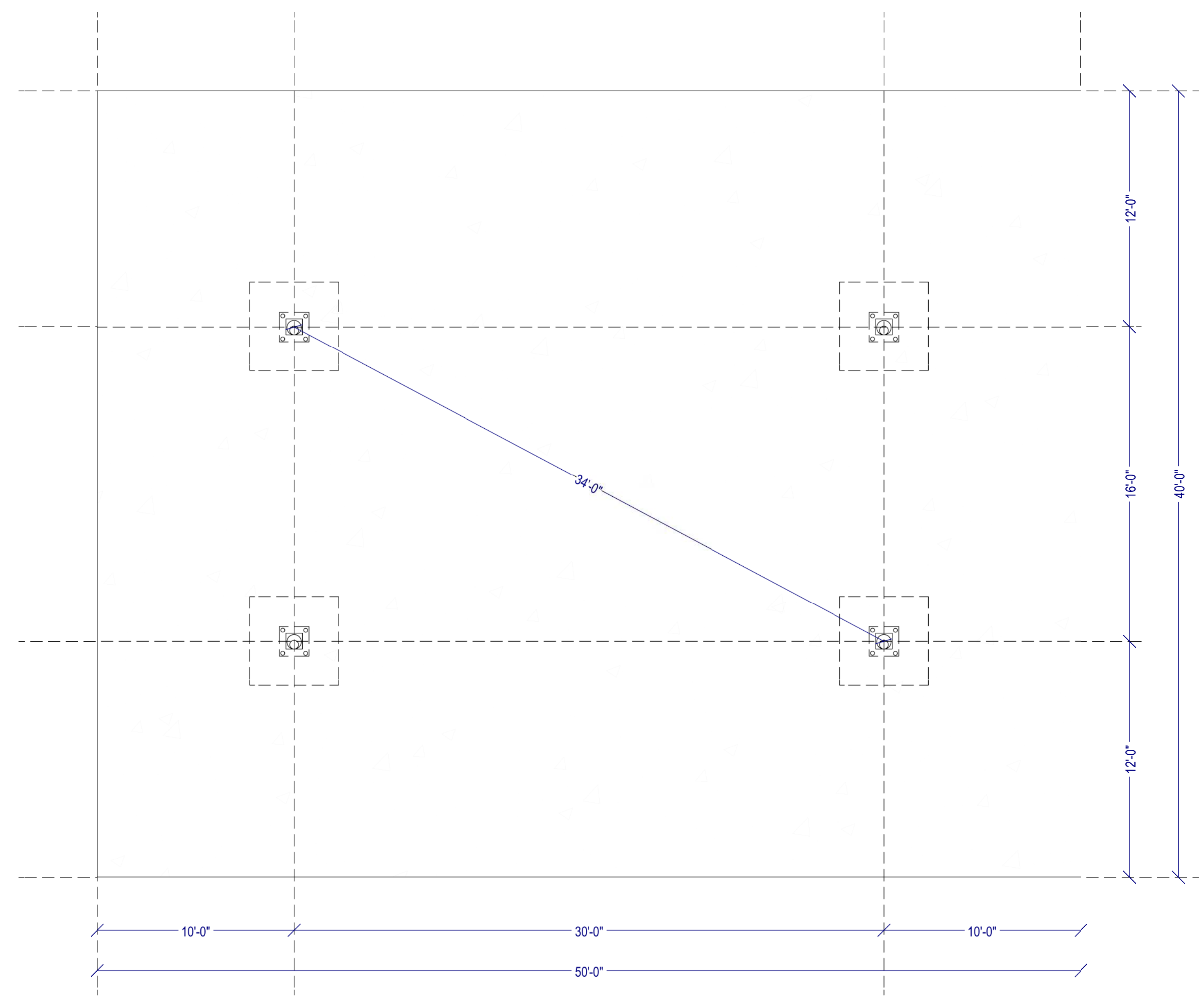
HARRY'S EXPRESS
GAS STATION SITE PLAN
 1423 NYS 96
 TOWN OF OWEGO, NY 13827

PARKING STUDY

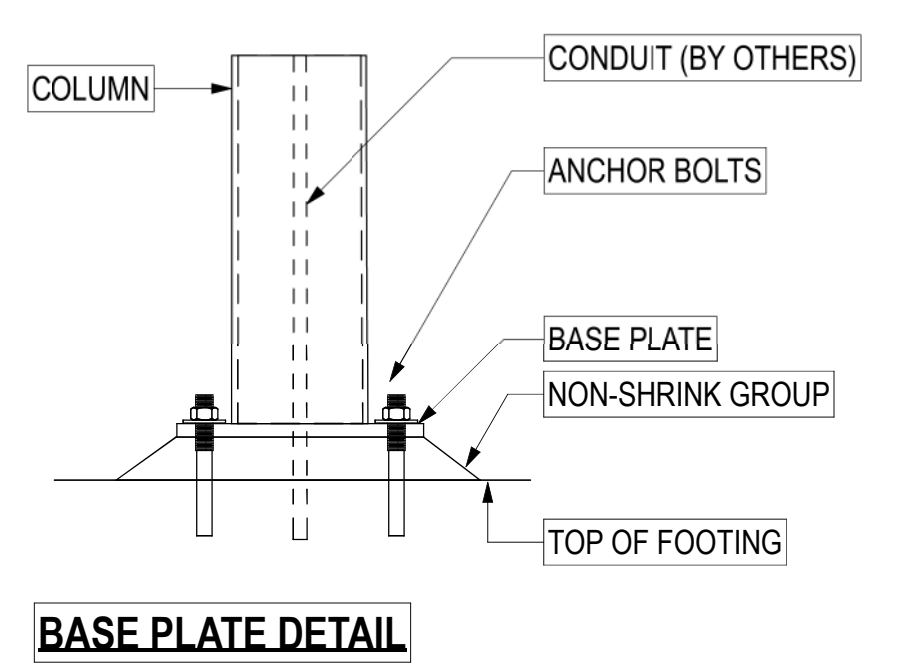


DATE:	12/12/2022
SCALE:	1"=20'
DRAWING:	S-3
SHEET:	3

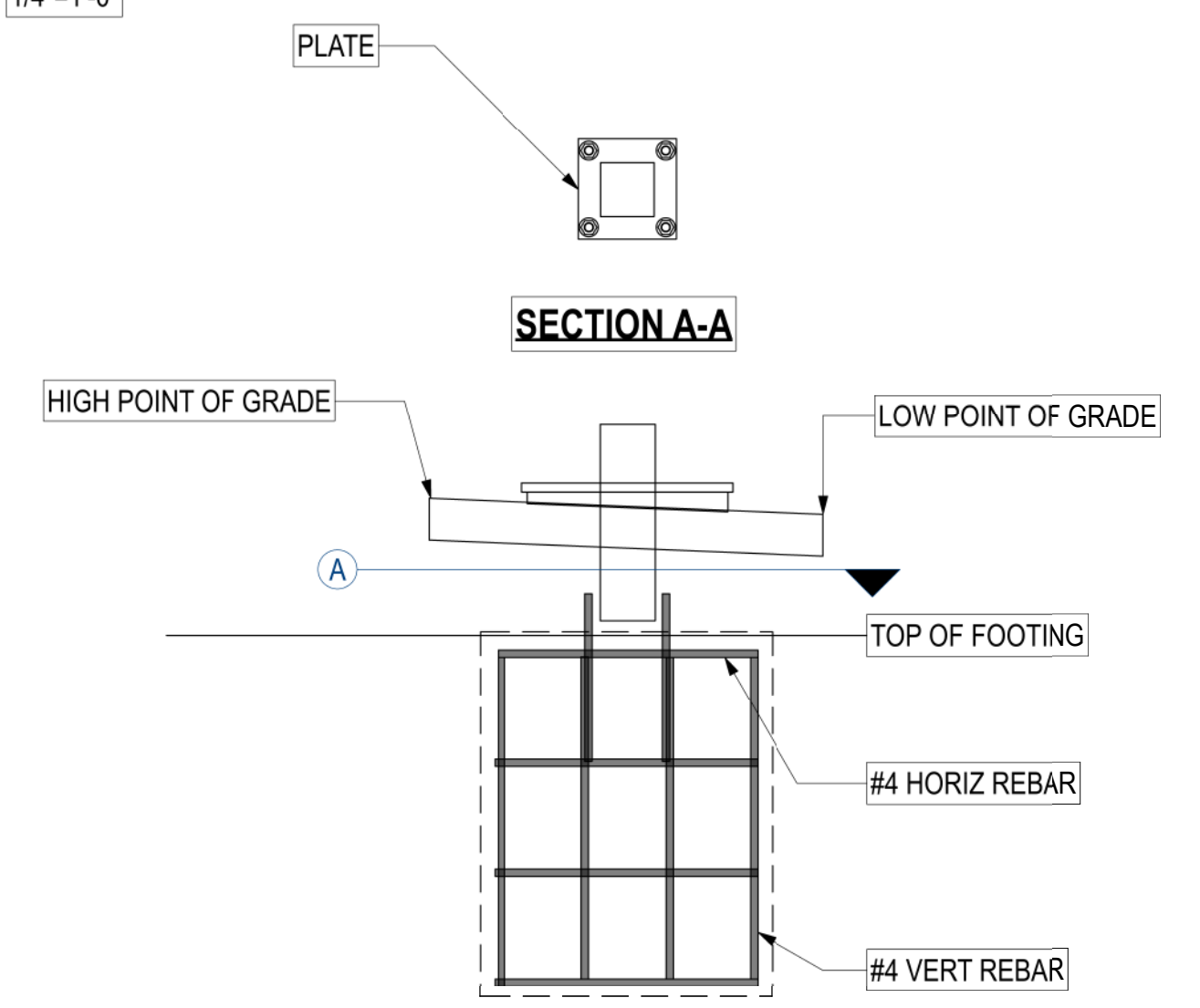
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FOUNDATION PLAN
1/4"=1'-0"



BASE PLATE DETAIL



FOUNDATION DETAIL

FOOTING NOTES:

1. OWNER/GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
2. ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK, OR PROPERLY COMPACTED SUBGRADE. FOOTING SIZE IS BASED ON MINIMUM 1500 PSF SOIL BEARING AT BASE AND 150 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PARAMETERS.
3. FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. FOOTING DESIGN BASED ON AN ASSUMED 1'-0" BURY OF THE COLUMNS FROM THE BOTTOM OF BASE PLATE TO FINISH GRADE. ANY AMOUNT OF BURY LESS THAN 1'-0" WILL RESULT IN A LARGER FOOTING SIZE.
5. TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT THE SAME LEVEL. OWNER/GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE AND UNDER CANOPY. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER/GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATION PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDERSIZED FOOTINGS.
6. OWNER/GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
7. FOOTINGS REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
8. FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY FUEL ISLAND AND DRIVE MAT CONCRETE. WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
9. ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING. TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 8" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTING.
10. ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO THE CANOPY MANUFACTURER IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE DO NOT MEET LOCAL BUILDING CODE REQUIREMENTS.



NUMBER	DATE	REVISION BY	DESCRIPTION

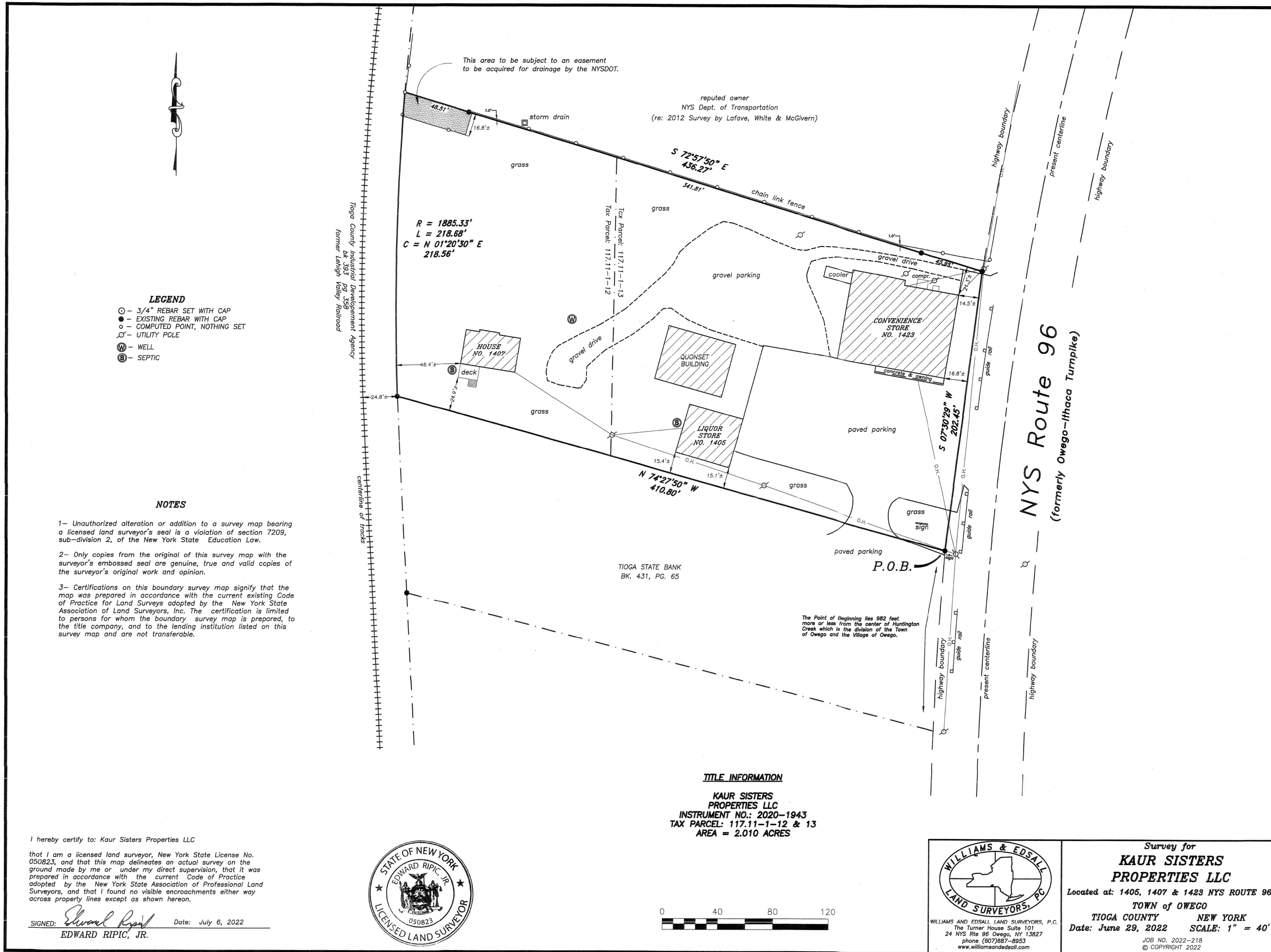
HARRY'S EXPRESS
GAS STATION SITE PLAN
 1423 NYS 96
 TOWN OF OWEGO, NY 13827

CONCRETE PAD PRELIMINARY DESIGN



DATE:	12/12/2022
SCALE:	AS SHOWN
DRAWING:	S-6
SHEET:	6

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- LEGEND**
- - 3/4" REBAR SET WITH CAP
 - - EXISTING REBAR WITH CAP
 - - COMPUTED POINT, NOTHING SET
 - - UTILITY POLE
 - W - WELL
 - S - SEPTIC

- NOTES**
- 1- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
 - 2- Only copies from the original of this survey map with the surveyor's embossed seal are genuine, true and valid copies of the surveyor's original work and opinion.
 - 3- Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, and to the lending institution listed on this survey map and are not transferable.

I hereby certify to: Kaur Sisters Properties LLC

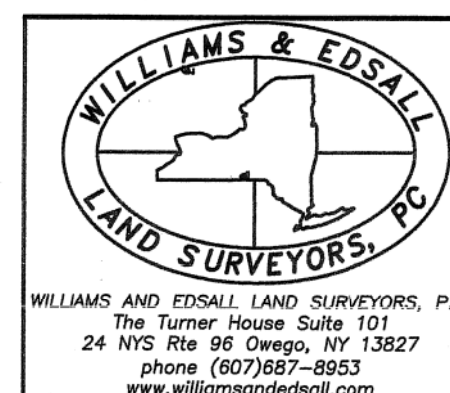
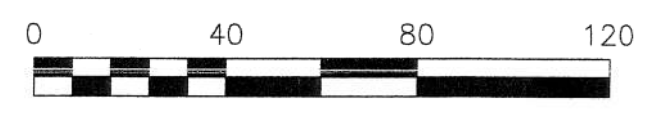
that I am a licensed land surveyor, New York State License No. 050823, and that this map delineates an actual survey on the ground made by me or under my direct supervision, that it was prepared in accordance with the current Code of Practice adopted by the New York State Association of Professional Land Surveyors, and that I found no visible encroachments either way across property lines except as shown hereon.

SIGNED: *Edward Ripic, Jr.* Date: July 6, 2022
 EDWARD RIPIC, JR.



TITLE INFORMATION

KAUR SISTERS
 PROPERTIES LLC
 INSTRUMENT NO.: 2020-1943
 TAX PARCEL: 117.11-1-12 & 13
 AREA = 2.010 ACRES



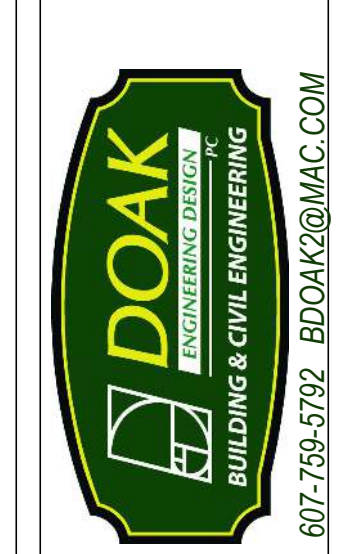
Survey for
KAUR SISTERS PROPERTIES LLC
 Located at: 1405, 1407 & 1423 NYS ROUTE 96
 TOWN of OWEGO
 TIOGA COUNTY NEW YORK
 Date: June 29, 2022 SCALE: 1" = 40'
 JOB NO. 2022-218
 © COPYRIGHT 2022



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

**HARRY'S EXPRESS
 GAS STATION SITE PLAN**
 1423 NYS 96
 TOWN OF OWEGO, NY 13827

SITE SURVEY



DATE: 12/12/2022
 SCALE: AS SHOWN
 DRAWING: S-7
 SHEET: 7